

February 16, 2016

Thomas Hovel  
Zoning Administrator/City Planner  
City of Fitchburg  
5520 Lacy Road  
Fitchburg, WI 53711-4212

Re: Nine Springs Hill Reclamation CUP  
*MARS Project Number: 1721*

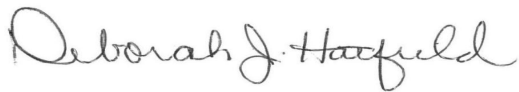
Dear Tom:

LJ Superior Excavation is proposing to reclaim Nine Springs Hill, a former fill site, by mining out recyclable materials for reuse. Concrete will be crushed on site. The proposed use requires a Conditional Use Permit. Enclosed are three copies of the Conditional Use Permit Application submittal materials. We are requesting the CUP request be placed on the March 15, 2016 Plan Commission agenda. Also enclosed is a check for the application fee and a letter from the current owner of the property, Jim Foseid of Nine Springs Hill, LLC, authorizing LJ Superior Excavation to make the CUP request.

Please contact me at 608-839-4422 with any questions.

Sincerely,

Montgomery Associates: Resource Solutions, LLC



Deborah J. Hatfield, PE  
Project Engineer

Enclosures:

cc: Larry Jokipii w/enclosures:



City of Fitchburg  
Planning/Zoning Department  
5520 Lacy Road  
Fitchburg, WI 53711  
(608) 270-4200

## CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

**1. Location of Property:**

**Street Address:** 2991 CTH MM

**Legal Description - (Metes & Bounds, or Lot No. And Plat):**

Lot #3 of CSM #3535 and Lots 1 and 2 of CSM #3598

\*\*\*Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

**2. Current Use of Property:** Inactive fill site

**3. Proposed Use of Property:** Concrete crushing and fill site

**4. Proposed Development Schedule:** 10 years, 2016-2026

**5. Zoning District:** R-D

**6. Future Land Use Plan Classification:** I-C

\*\*\*Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

\*\*\*Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov).

Additional information may be requested.

**Type of Residential Development (If Applicable):** N/A

**No. of Dwelling Units by Bedroom:** 1 BR ☐ 2 BR ☐ 3 BR ☐ 4 or More ☐

**No. Of Parking Stalls:**

**Type of Non-residential Development (If Applicable):** Concrete Crushing - Fill Site

**Proposed Hours of Operation:** 7AM - 7 PM, Mon-Sat **No. Of Employees:** 10

**Floor Area:** N/A **No. Of Parking Stalls:** N/A

**Sewer:** Municipal ☐ Private ☐ **Water:** Municipal ☐ Private ☐

**Current Owner of Property:** Nine Springs Hill, LLC

**Address:** 2721 Stevens Street, Madison, WI **Phone No:** 608-215-8296 (c)

**Contact Person:** Larry Jokipii / LJ Superior Excavation

**Email:** ljexcavation@yahoo.com

**Address:** 1910 86th Street South, Wisconsin Rapids, WI 54494 **Phone No:** 608-712-5194

**Respectfully Submitted By:** *Larry Jokipii*

Owner's or Authorized Agent's Signature

**\*\* It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

**For City Use Only:** **Date Received:** **Publish:**

**Ordinance Section No.** **Fee Paid:**

**Permit Request No.**

722  
DEB HATFIELD

February 16, 2016

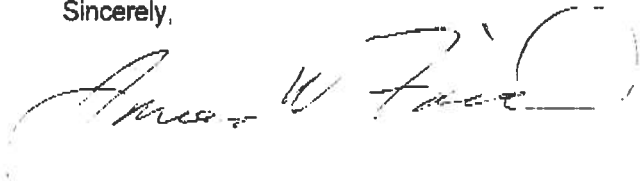
Mr. Thomas Hovel  
Zoning Administrator/City Planner  
City of Fitchburg  
5520 Lacy Road  
Fitchburg, WI 53711

Re: Nine Springs Hill Condition Use Permit

Dear Tom:

As owner of the Nine Springs Hill property located at 2991 CTH MM, I authorize LJ Superior Excavation to submit a Conditional Use Permit Application and Erosion Control and Stormwater Management Permit Application for the proposed concrete crushing/recyclable mining operation.

Sincerely,



Nine Springs Hill Reclamation

Conditional Use Permit Application

Legal Description

Lot 3, Dane County CSM #3535 and Lots 2 and 3, Dane County CSM #3598, Section 1, Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin.



## Nine Springs Hill Reclamation Conditional Use Permit Application Memo

### Project Description

LJ Superior Excavation is proposing to reclaim Nine Springs Hill, a former quarry/borrow site that was used for the disposal of clean fill material. Nine Springs Hill is located at 2991 CTH MM. During the previous fill operation, an estimated 1,500,000 cyds to 2,500,000 cyds of material was placed. Up to 60% of the material placed was concrete, according to the site manager during much of the previous operation.

The project area includes Lot 3 of CSM #3535 and Lots 1 and 2 of CSM #3598, currently owned by Nine Springs Hill, LLC. The original fill site also included Lot 1 of CSM #3535. Lot 1 of CSM #3535 is owned by a different entity and is not part of this application.

The site is a 32.7 acre triangular shaped tract located south of the US HWY 14 and CTH MM/McCoy Road interchange in Section 1 of the City of Fitchburg. CTH MM borders the site on the east and US HWY 14 borders the site on west. See *Figure 1*. The site is currently zoned R-D, Rural Development. See *Figure 2*. *Figure 3* shows the existing conditions. An area in the middle of the site is currently used for storing dumpsters.

LJ Superior Excavation plans to mine recyclable materials such as concrete and asphalt from the site, replacing the clean soil using proper compaction methods with the end goal of creating a developable site. A concrete crushing plant will be used on site to crush concrete mined from the site along with concrete brought to the site. Other recyclable materials will be hauled off site to appropriate users. The proposed use is allowed as a conditional use under R-D zoning. A neighborhood meeting is scheduled for Thursday, February 18, 2016.

### Contact Information:

Developer: Larry Jokipii  
LJ Superior Excavation  
1910 86<sup>th</sup> Street South  
Wisconsin Rapids, WI 54494  
608-612-5194  
[ljexcavation@yahoo.com](mailto:ljexcavation@yahoo.com)

Engineer: Debbie Hatfield  
Montgomery Associates  
119 S. Main Street  
Cottage Grove, WI 53527  
608-839-4422  
[debbie@ma-rs.org](mailto:debbie@ma-rs.org)

## Operations

Hours of Operation: Site activities may occur between the hours of 7AM and 7 PM Monday through Saturday, in conformance with Fitchburg's noise ordinance.

Number of Employees: Ten employees are expected to be on site during the reclamation activities.

Equipment: On site equipment will include:

- Crushing Equipment (see attached information for more description of the crushing equipment.)
- Front end loaders
- Dozer
- Trucks
- Single axle dump truck to be used as a water truck
- 48' trailer for use as a shop/storage
- Forklift
- Semi with rock end dump

Number of Truck Trips: An estimated fifty dump truck trips a day hauling out crushed concrete and recyclable material are expected. Approximately 25 dump truck trips a day hauling in concrete to be crushed or clean fill are expected.

Truck Access: There are currently three entrances to the site. All of the three entrances may be utilized throughout the operations. The three entrances were utilized for many years for the previous fill operation and have adequate stopping sight visibility.

Noise Control: Most, if not all, of the proposed equipment will meet EPA highest emission standards, Tier 4. Tier 4 establishes emission standards to a level 50-96% below previous generations of diesel engines used in many types of construction equipment. The use of Tier 4 equipment during the reclamation of Nine Springs Hills ensures not only cleaner emissions but also quieter engines, since the equipment will be newer. Other noise control measures include construction of a landscape/noise screening berm along CTH MM and working below grade as the material is mined out.

Dust Control: A watering truck will be on site for use when warranted. In addition, much of the proposed work will be below the surrounding area, helping to limit exposure to wind.

Erosion Control: Erosion control permits will be obtained from Fitchburg and the DNR. Stone construction entrances, either newly installed or using the existing aggregate base, will be provided at each of the three entrances to the site. Soil tracked from the site to streets shall be removed by the end of each work day or as directed by City and/or State inspectors. Existing erosion control measures already in place, such as rock check dams and rip rap, will remain in place to the extent practicable. Most areas will be internally drained as operations progress. Perimeter control such as silt fence and/or erosion control berms with stone weepers will be installed for areas draining off

site. Erosion control measures will be inspected weekly and within 24 hours after every rainfall event exceeding ½".

**Stormwater Management:** Two stormwater management ponds were constructed within the project limits during the previous operations. The ponds remain functional and provide sediment and detention control for the site. In addition, the northern pond appears to provide significant infiltration. The ponds will be utilized for stormwater management during the reclamation activities. Stormwater management permits will be obtained from Fitchburg and DNR.

#### Phasing:

*Phase 1:* See *Figure 4* for the phasing plan. The initial phase for the project will be the northern one-third of the site. This phase is expected to last three years and be completed in 2019. Access will likely be provided from the north entrance and may be looped to the middle entrance. A berm will be constructed along CTH MM to provide visual and noise screening. A fence will be installed for safety along CTH MM and adjacent property lines. Signs such as "No Trespassing" and "Danger – Keep Out" will be installed on the fence at approximate 200' spacing. As the mining of the recyclable materials progresses, 3:1 slopes will be maintained from CTH MM and the property limits unless a geotechnical engineer confirms the existing material has a steeper angle of repose (will remain stable for steeper slopes). The existing northern pond will be utilized for stormwater management and construction time sediment control for externally drained areas.

After the material is mined out to native soil or the maximum extent practicable, salvaged clean fill and, if needed, additional clean fill brought into the site, will be placed with good compaction, as directed by a geotechnical engineer. An environmental engineer will monitor the site to ensure no hazardous or regulated material is deposited. The fill will be placed to reestablish the current elevations. See *Figure 5* for proposed final elevations. As areas are completed, salvaged topsoil will be placed and the areas restored with a no-mow fine fescue seed mix.

*Phase 2:* The second phase will be the middle section of the site. This phase is expected to last four years, from 2019 through 2023. This phase also drains to the north pond which will be utilized for stormwater management and construction time erosion control. The fence and berm described under Phase 1 will be maintained during this phase. Mining, filling and restoration operations will be conducted as described under Phase 1. The dumpster storage currently occurring in this phase's area will be discontinued when it is no longer feasible to maintain access to the storage area and/or when the area is needed for the reclamation operations.

*Phase 3:* The last phase will be the southern end of the property. This phase is expected to last three years, from 2023 through 2026. This phase drains to the south pond. The south pond may need to be reconfigured to provide sufficient stormwater management and construction time sediment control. Mining, filling and restoration operations will be conducted as described under Phase 1.

Final Restoration: The site is proposed to be refilled to the current elevations. See *Figure 5*. Areas will be restored with salvaged topsoil and seeded with a no-mow fine fescue seed mix. After completion of the recycling operations, the site is intended to be sold for development consistent with the Northeast Neighborhood plan.



## CUSTOMIZED RECYCLING AND TWO-STAGE SOLUTIONS

30 x 62 Portable Diesel  
Recycle Jaw Crushing Plant



### DRASTICALLY LOWER MATERIAL PREPARATION COSTS

As a concrete and asphalt recycler, you can really lower your material preparation costs with a Lippmann Portable Recycle Jaw Plant. Lippmann's recycle jaw offers a huge 30" x 62" [76.2 x 157.5 cm] feed opening that accepts massive slabs of concrete full of rebar, reducing feed time and wear costs and achieving maximum capacity. Reversible jaw dies assure maximum wear life.

### STRENGTH WHERE IT IS NEEDED

Computer aided design allows for added strength in all key areas of a Lippmann Portable Recycle Jaw Plant.

### CONTRACTOR FRIENDLY

With a travel height of 13'6" [4.1 m], mounted on a high quality chassis designed for easy set up and tear down, the Lippmann 30 x 62 jaw plant is very portable and features a 62" x 18' [157.5 cm x 5.5 m] vibrating grizzly feeder, Hardox 400 feed hopper and hydraulic leveling.

### EASE OF MATERIAL HANDLING

Transfer points for material have proper clearances to maximize the throughput of rebar and/or uncrushable material.

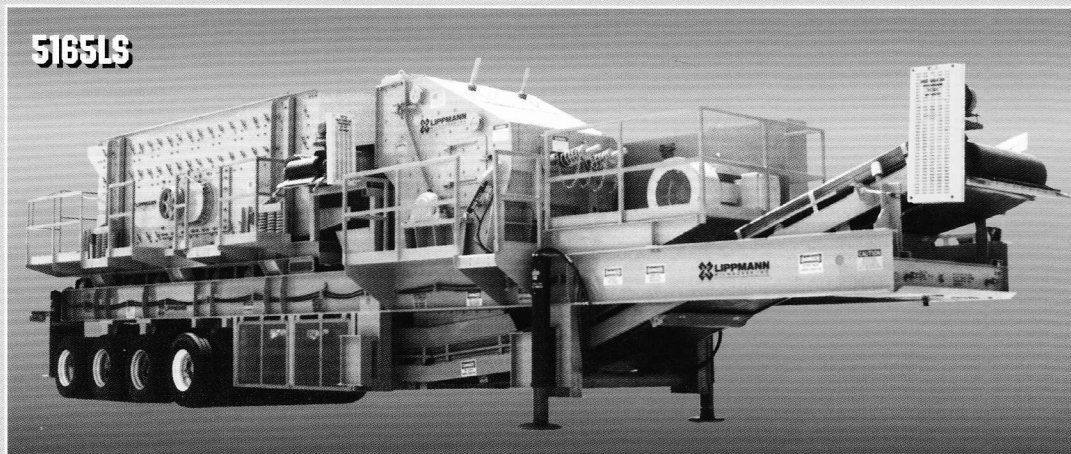
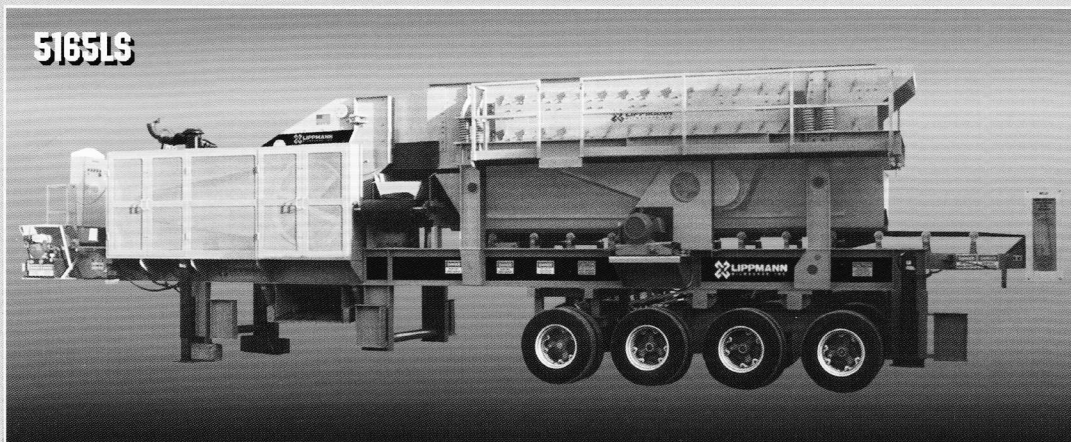
### SECONDARY SOLUTIONS

Lippmann Milwaukee also offers complete two-stage jaw/impactor crushing solutions. When you need complete, superior crushing and screening solutions designed to handle reinforced concrete and asphalt to produce clean, saleable aggregates, count on Lippmann as your single source for equipment, application expertise and product support.

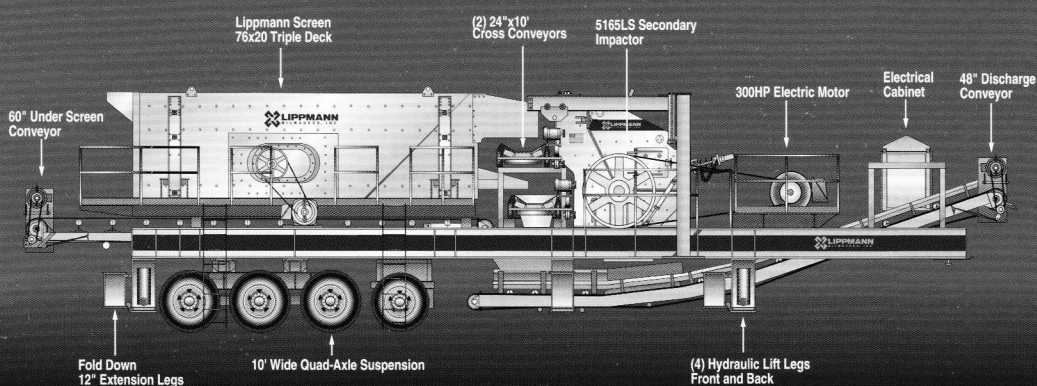
### TWO-STAGE AGGREGATE SOLUTIONS

For superior in-pit jaw/impactor crushing systems to produce high quality cubical aggregates, no one offers more value, reliability and reduced operating costs than Lippmann Milwaukee.





## 5165LS – SECONDARY PORTABLE PLANT CONFIGURATION



- Lippmann 5165LS Secondary Impactor.
- 76x20 Triple Deck Screen.
- 48" Discharge Conveyor.
- 60" Under Screen Conveyor.
- (2) 24"x10' Cross Conveyors.
- 300HP Electric Motor.
- Hydraulic Lift Legs.
- 10' Wide Quad-Axle Suspension.
- 13'11" Travel Height.
- Abrasion-Resistant Hopper.

300 stph  
-24 + #4



Lippmann 30x62 Jaw Plant

Lippmann  
30x62

Lippmann 60x35 Magnet conveyor

Masaba 36x60 stacking conveyor

2

Lippmann  
4248LP

2 1/2  
1 1/4

SL 36x40 transfer conveyor

Lippmann 4800 Plant (52x17 VGF, 42x48, 5x10 DD)

Masaba 36x125 stacker

-1 1/4 +0  
300 stph

Run: 1/27/16 13:21:41

Calculation results may differ due to variations in operating conditions and application of crushing and screening equipment. This information does not constitute an express or implied warranty, but shows results of calculations based on information provided by customers or equipment manufacturers. Use this information for estimating purposes only.

Typical Concrete Crushing Spread  
Aring - Lippmann

Page #1

All calculations performed by AggFlow. <http://www.AggFlow.com>

Date: January/27/2016



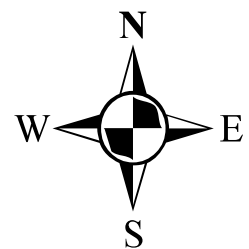


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 MONTGOMERY ASSOCIATES:  
RESOURCE SOLUTIONS, LLC  
119 South Main Street | Cottage Grove, WI 53527  
(608) 839-4422 | [www.ma-rs.org](http://www.ma-rs.org)

**PROJECT CONTEXT**

**NINE SPRINGS RECLAMATION**  
2991 County Highway MM  
Fitchburg, WI  
LJ Superior Excavation



0 200 400  
Feet

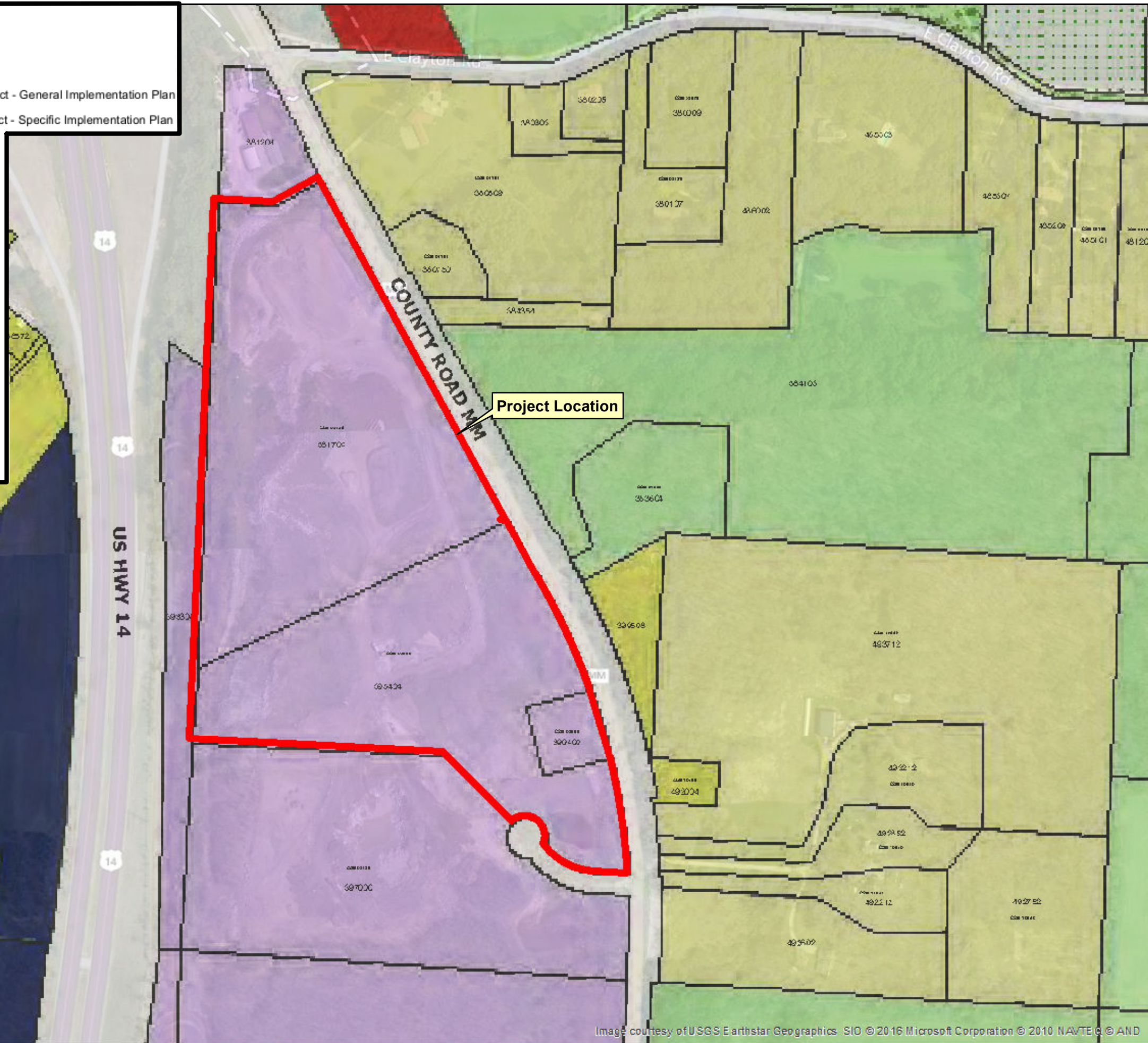
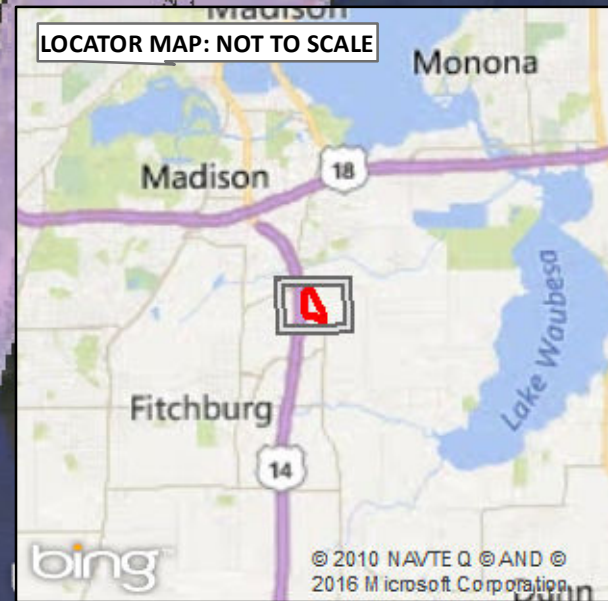
SCALE  
1 inch = 400 feet

PROJECT NO. 1613	DATE 2/16/2016
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FIGURE  
**1/6**



- R-D; Rural Development
- I-S; Specialized Industrial
- I-G; General Industrial
- PDD-GIP; Planned Development District - General Implementation Plan
- PDD-SIP; Planned Development District - Specific Implementation Plan
- R-R; Rural Residential
- R-L; Low Density Residential
- R-LM; Low to Medium Density Residential
- R-HA; Former R-4 Residential
- R-M; Medium Density Residential
- R-H; High Density Residential
- B-P; Professional Business
- B-G; General Business
- B-H; Highway Business
- P-R; Park and Recreation District
- A-T; Transitional Agriculture
- A-X; Exclusive Agriculture
- A-S; Small Lot Agriculture
- SC-NC; SmartCode - New Community



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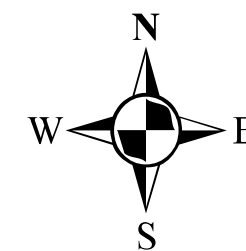
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## ZONING MAP

NINE SPRINGS RECLAMATION  
2991 County Highway MM  
Fitchburg, WI  
LJ Superior Excavation



0 150 300  
Feet  
SCALE

1 inch = 300 feet

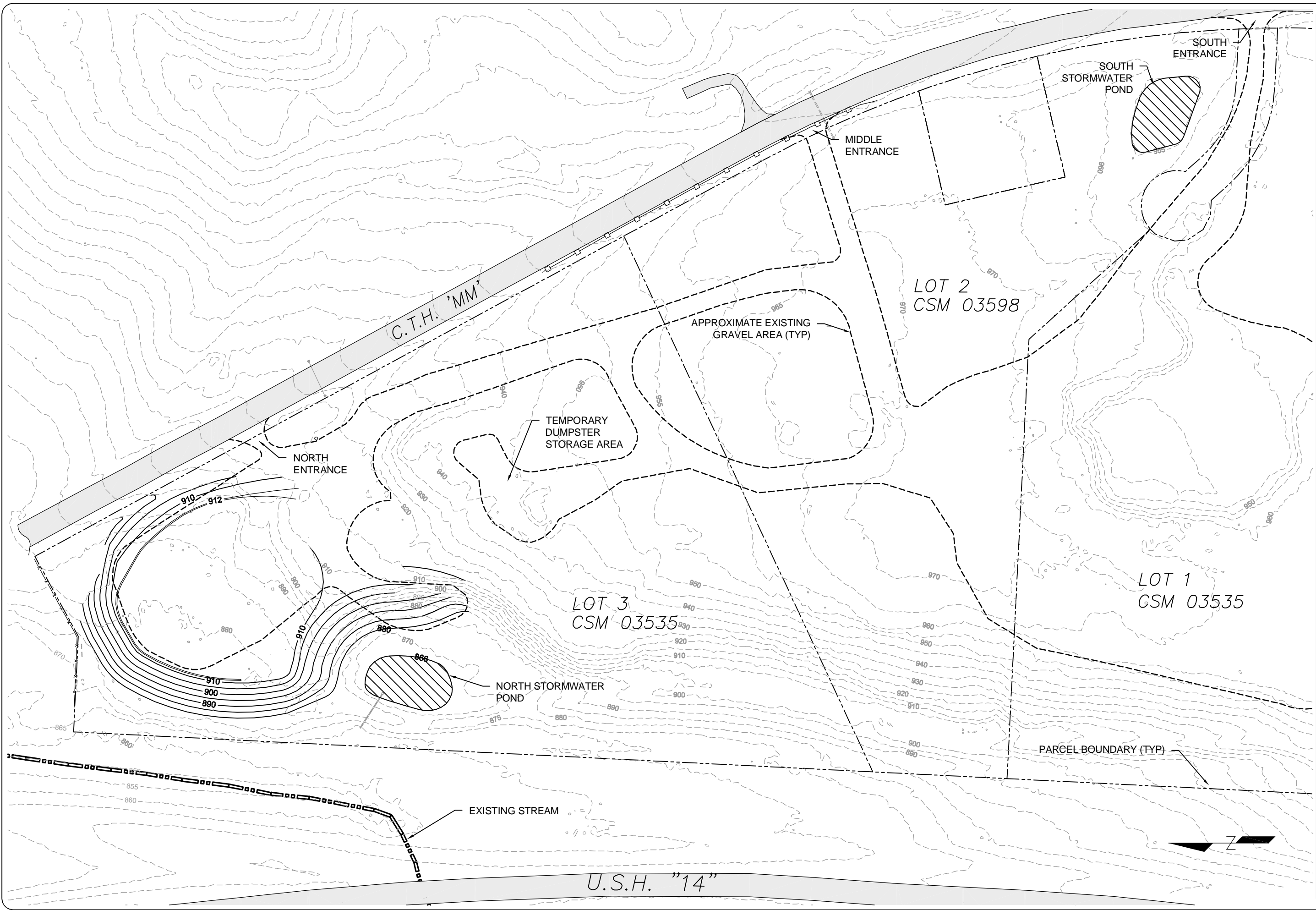
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DATE  
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FIGURE  
2/6

Image courtesy of USGS Earthstar Geographics SIO © 2016 Microsoft Corporation © 2010 NAVTEQ © AND





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DATE		DATE	
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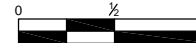
MONTGOMERY ASSOCIATES:  
RESOURCE SOLUTIONS, LLC  
119 SOUTH MAIN STREET  
SUITE A  
COTTAGE GROVE, WI 53527  
www.mars.org



**EXISTING CONDITIONS**

**NINE SPRINGS HILL RECLAMATION**  
C.T.H. MM  
FITCHBURG, WI 53711  
**LJ SUPERIOR EXCAVATION**

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE



SCALE  
1" = 150'

PROJECT NO.	DATE
1721	2/16/16

SHEET NO.  
**3/6**



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SUITE A  
COTTAGE GROVE, WI 53527  
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**PHASING PLAN**

**NINE SPRINGS HILL RECLAMATION**

2991 C.T.H. MM  
FITCHBURG, WI 53711

**LJ SUPERIOR EXCAVATION**

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

SCALE  
1" = 150'

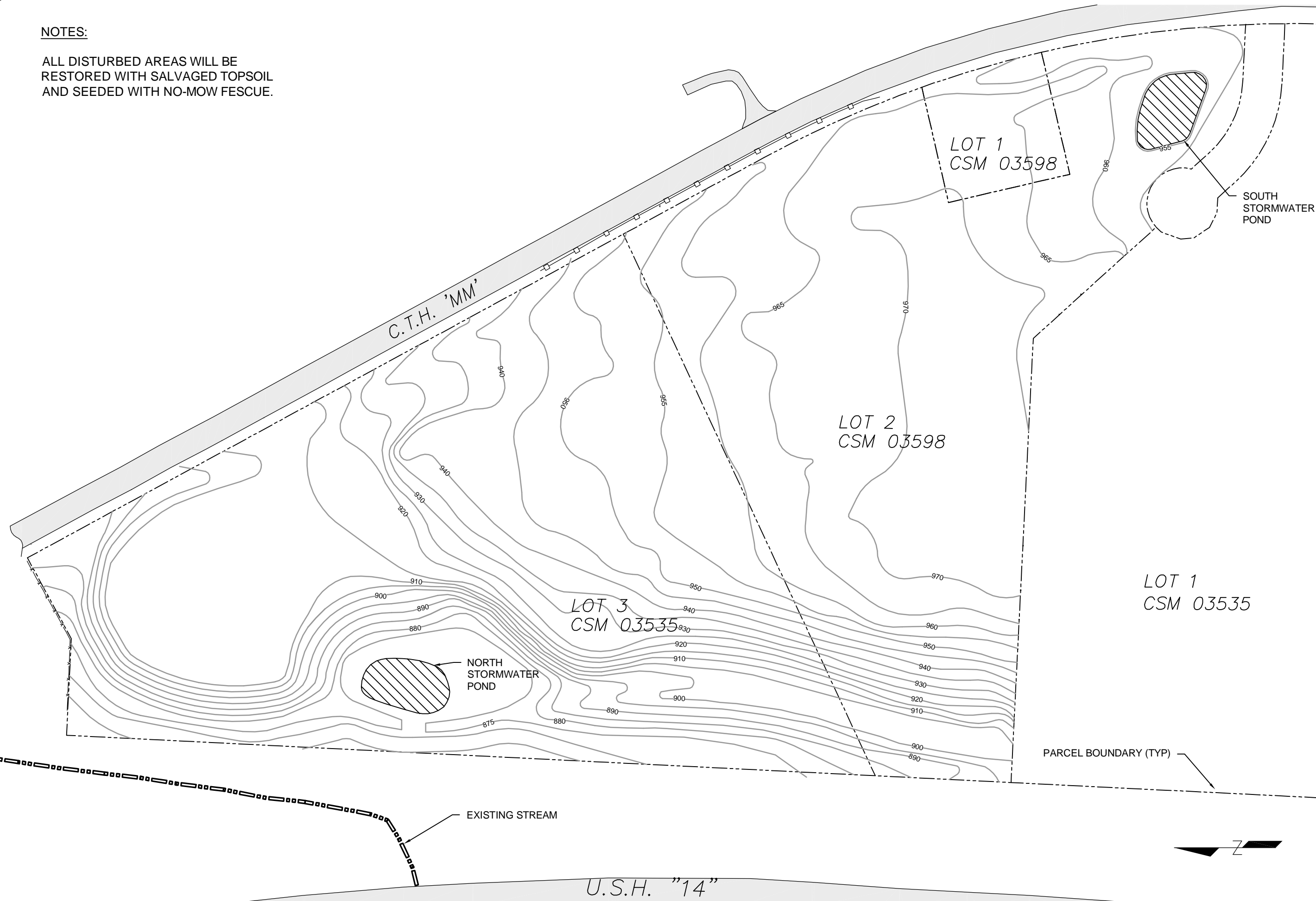
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DATE  
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**4/6**



NOTES:  
ALL DISTURBED AREAS WILL BE  
RESTORED WITH SALVAGED TOPSOIL  
AND SEEDED WITH NO-MOW FESCUE.



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CNB

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DJH

DATE	REVISION / ISSUE	NO.

MONTGOMERY ASSOCIATES:  
RESOURCE SOLUTIONS, LLC  
SUITE A  
119 SOUTH MAIN STREET  
COTTAGE GROVE, WI 53527  
www.mars.org

FINAL RESTORATION PLAN

NINE SPRINGS HILL RECLAMATION

2991 C.T.H. MM  
FITCHBURG, WI 53711

LJ SUPERIOR EXCAVATION

IF THIS BAR DOES NOT MEASURE 1"  
THEN DRAWING IS NOT TO SCALE

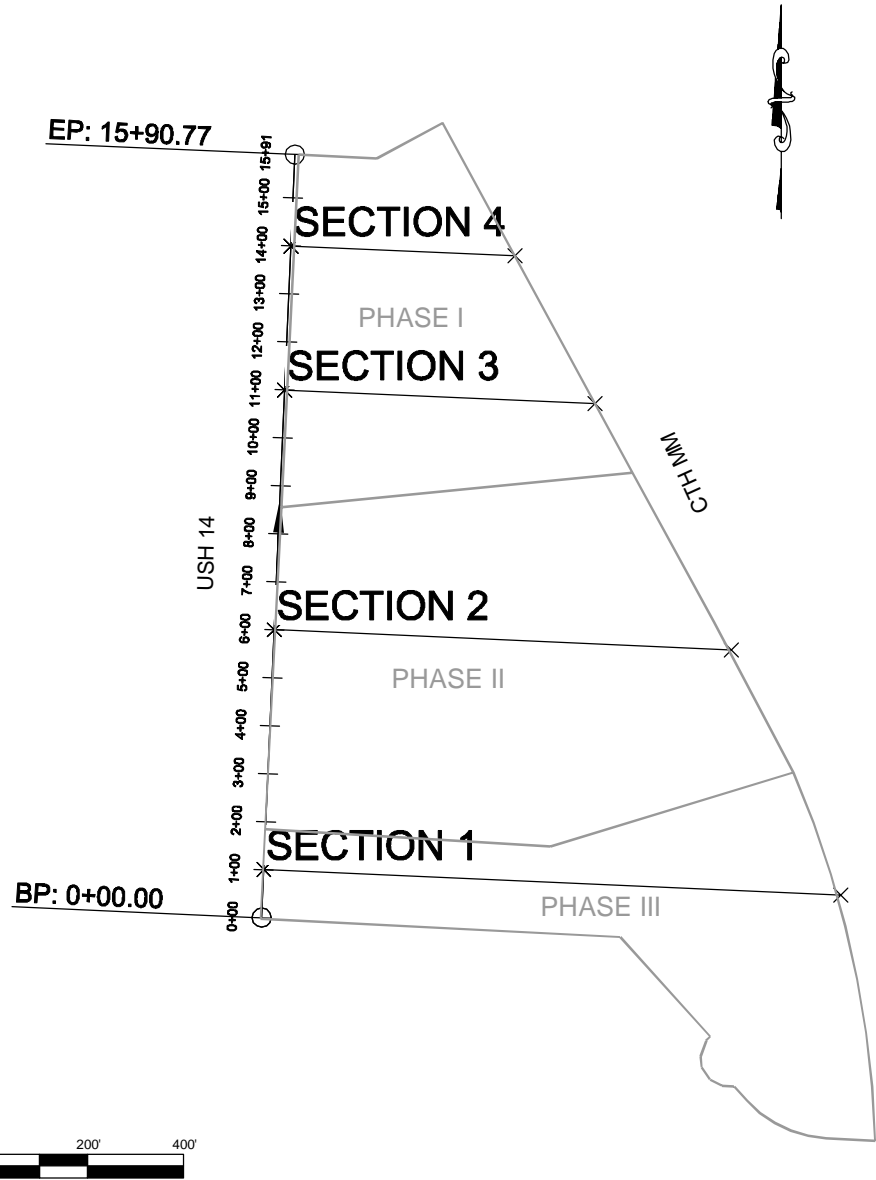
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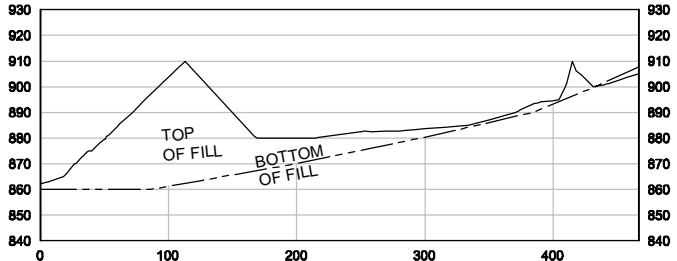
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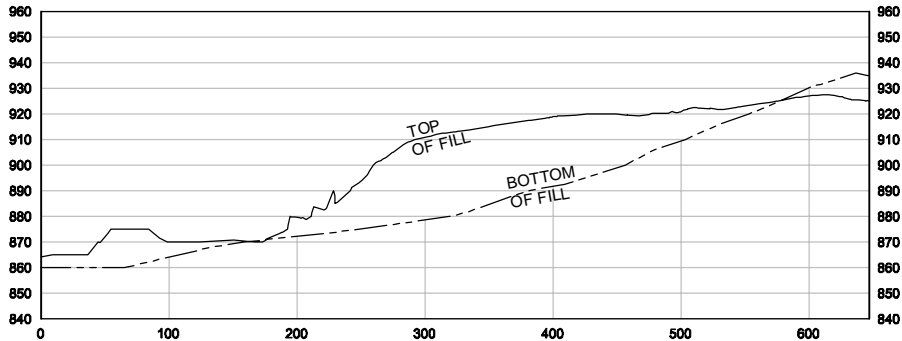


SECTION 4

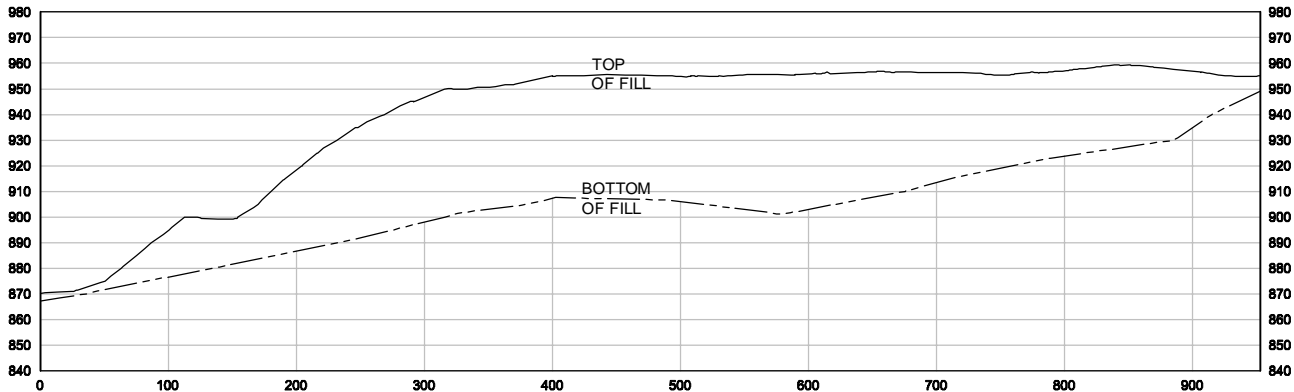


NOTE: BOTTOM OF FILL ELEVATIONS CALCULATED FROM 1983 USGS 7.5 MINUTE QUADRANGLE ELEVATION DATA

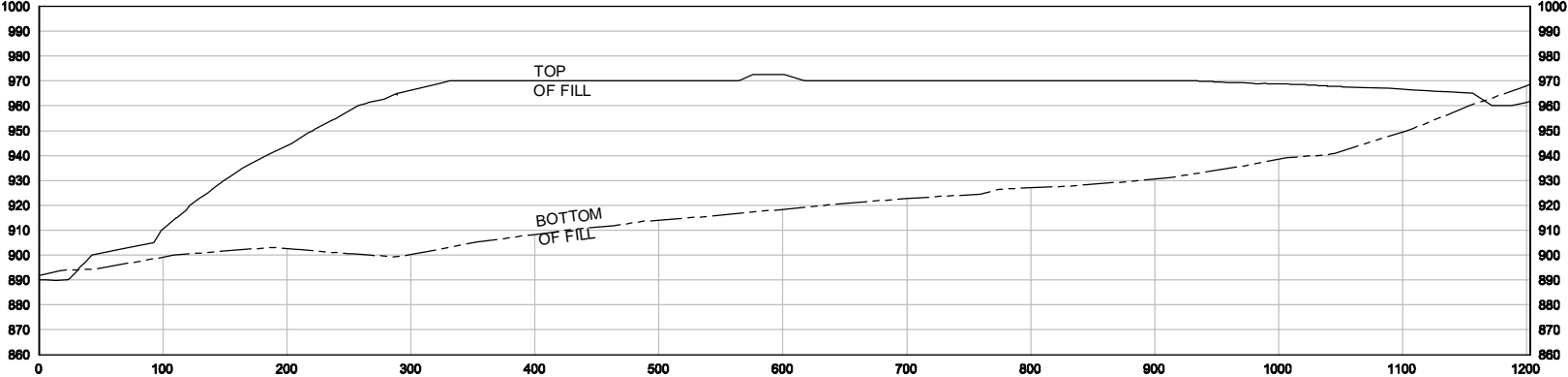
SECTION 3



SECTION 2



SECTION 1



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RESOURCE SOLUTIONS, LLC  
119 SOUTH MAIN STREET  
SUITE A  
COTTAGE GROVE, WI 53527  
www.mta-rs.org

**CROSS SECTIONS**

**NINE SPRINGS RECLAMATION**  
2991 COUNTY HIGHWAY MM  
FITCHBURG, WI

**LJ SUPERIOR EXCAVATION**

IF THIS BAR DOES NOT MEASURE 1"  
THEN DRAWING IS NOT TO SCALE

SCALE  
**VARIES**

PROJECT NO. <b>1721</b>	DATE <b>2/16/16</b>
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SHEET NO.  
**6/6**